

ORDINANCE NO. 2666

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KATY, TEXAS AMENDING THE ZONING ORDINANCE, ORDINANCE NO. 621; CREATING "YOUNG RANCH" PLANNED DEVELOPMENT DISTRICT, AN APPROXIMATELY 388 ACRE TRACT SINGLE FAMILY RESIDENTIAL AND COMMERCIAL USE DEVELOPMENT LOCATED SOUTH OF INTERSTATE 10, JUST SOUTH OF THE WILLOW FORK OF BUFFALO BAYOU; ALLOWING FOR FUTURE SUBDIVISION OF TRACTS OF LAND WITHIN THE "YOUNG RANCH" PLANNED DEVELOPMENT DISTRICT; PROVIDING A PENALTY OF \$2,000 FOR EACH DAY OF VIOLATION OF ANY PROVISION OF THIS ORDINANCE; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; AND PROVIDING FOR SEVERABILITY.

Whereas, on September 23, 2014 the City Planning and Zoning Commission and on October 13, 2014 the City Council held a public hearing on the creation of "Young Ranch" Planned Development District; and

Whereas, the City Council held a public hearing on the proposed creation of the creation of "Young Ranch" Planned Development District, Now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF KATY, TEXAS:

Section 1. The City of Katy's Zoning Ordinance shall be amended by adding "Young Ranch" Planned Development District, an approximately 389 acre tract residential and commercial use development located on South of Interstate 10 just South of the Willow Fork of Buffalo Bayou in the City of Katy, Texas.

Section 2. "Young Ranch" Planned Development District shall be developed in accordance with the application submitted by the owners, said application being attached hereto as Exhibit "A" and incorporated herein for all purposes as though set forth in its entirety in this paragraph.

Section 3. "Young Ranch" Planned Development District shall be developed in accordance with a Utility Services Agreement with the City of Katy.

Section 4. "Young Ranch" Planned Development District shall be developed in accordance with all other development, permitting, licensing and regulatory ordinances of the City of Katy not specifically addressed in the application attached hereto as Exhibit "A".

Section 5. The owners of "Young Ranch" Planned Development District shall record this ordinance, including "Exhibit A" in the Real Property Records of all Counties in which it is located.

Section 6. Tracts of land within "Young Ranch" Planned Development District may be subdivided in accordance with the City of Katy's Subdivision Ordinance's rules, regulations and procedures without amending "Young Ranch" Planned Development District ordinance. The subdivision of land provided for by this section does not authorize the subdivision of land where the subdivision will conflict with guidelines, rules or regulations adopted by the City Council for "Young Ranch" Planned Development District, including the application attached to this Ordinance as Exhibit "A".

Section 7. Any person who shall intentionally, knowingly, recklessly, or with criminal negligence, violate any provision of this Ordinance shall be deemed guilty of a misdemeanor and, upon conviction, shall be fined in accordance with the applicable penalty provided for in Section 1.106 of the City of Katy Code of Ordinances. Each day of violation shall constitute a separate offense.

Section 8. All ordinances or parts of ordinances inconsistent or in conflict herewith are, to the extent of such inconsistency or conflict, hereby repealed.

Section 9. In the event any clause, phrase, provision, sentence, or part of this Ordinance or the application of the same to any person or circumstance shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair, or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Katy, Texas, declares that it would have passed each and every part of the same notwithstanding the omission of any such part.

Section 10. This Ordinance shall take effect in accordance with the laws governing penal ordinances. The City Secretary is authorized to publish a summary of the ordinance along with the penalty in accordance with The City of Katy Code of Ordinances and State law.

PASSED AND APPROVED in Katy, Texas this 13th day of October, 2014.

CITY OF KATY, TEXAS

By: Fabool Hughes
Fabool Hughes, Mayor

ATTEST:

Melissa A. Bunch
Melissa A. Bunch, City Secretary

APPROVED

Art Fertile, III
Art Fertile, III,

City Attorney

Exhibit “A”

Ordinance No. 2666

**YOUNG RANCH
PLANNED DEVELOPMENT DISTRICT
CITY OF KATY, TEXAS
AUGUST 28, 2014**

PREPARED FOR:

Ryland Homes
5353 W. Sam Houston Parkway
Suite 100
Houston, TX 77041

Beazer Homes
10235 West Little York
Suite 200
Houston, TX 77040

M/I Homes
10910 W. Sam Houston Parkway N.
Suite 500
Houston, TX 77064

and the

City of Katy
910 Avenue C
P.O. Box 617
Katy, Texas 77492-0617

PREPARED BY:

BGE| Kerry R. Gilbert and Associates
23501 Cinco Ranch Blvd.
Suite A-250
Katy, Texas 77494

RECEIVED
AUG 29 2014
CITY OF KATY

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I. INTRODUCTION

Purpose

This document was prepared for Ryland Homes, Beazer Homes and M/I Homes as it relates to the City of Katy ordinances regarding Planned Development Districts (PDD). A PDD is meant to encourage the unified design of multiple uses in accordance with an approved comprehensive development plan. The district provides for greater flexibility in the design of the development.

Location

Young Ranch is a community located within the City of Katy, Texas and lies within the boundaries of both Fort Bend County and Waller County. The property contains approximately ±388.6 acres which was annexed into the City of Katy at the request of Ryland Homes, Beazer Homes and M/I Homes. The property is located south of Interstate 10, just south of the Willow Fork of Buffalo Bayou. Pederson Road/future *Katy-Fulshear Parkway and West Firethorne Road will run north and south through the property while Kingsland Boulevard will run east and west. Refer to the Area Map, Exhibit A.

II. EXISTING CONDITIONS

Site Description

The majority of the tract is made up of open fields with the exception of an active Drill Site that is located at the center of the property. There are two pipeline easements within the property, a sixty six (66) foot gas pipeline easement and a forty (40) foot oil pipeline easement. Both Katy ISD and Lamar Consolidated ISD service the area. The eastern portion and the northwest corner are both within Katy ISD while Lamar Consolidated ISD serves the remainder of the site. Refer to the Boundary Survey, Exhibit D.

Surrounding Land Use

Multiple large master planned communities adjoin the property including Firethorne to the south, Anserra to the east and Willow Creek Farms to the west. The Cooper Cameron industrial site lies north of the property, on the western side of Pederson Road. Holiday World of Houston, an RV sales lot, is also adjacent to the property to the north. The remainder of the surrounding area is primarily undeveloped. Refer to Exhibit C, the Surrounding Land Uses Exhibit.

III. PROJECT OBJECTIVES

Purpose of Community

The purpose the PDD is to promote community cohesiveness and quality. The presence of commercial uses, schools, recreational amenities and residential neighborhoods within close proximity helps to create a complete and functional community. The unique and inviting environment is further strengthened by the multiple lakes, detention areas, and open spaces that form aesthetic and recreational destinations for the neighborhood. These elements, combined with close attention to architectural control, will bring to the City of Katy a beautiful community.

IV. PROJECT DESCRIPTION

Land Use

Young Ranch is divided by three major thoroughfares, W. Firethorne Road, *Katy-Fulshear Parkway and Kingsland Boulevard. . The majority of the property will be single family residential and open space recreation areas with drainage and detention throughout. In addition, an Elementary school and a Commercial site will be incorporated along Kingsland on the west side of the property. Just outside the PDD area, on the northwest corner, across Kingsland Boulevard, there is a proposed a day care site and a Water Plant Site. The Water Plant Site will be dedicated to the City of Katy. There is an existing drill site at the center of the property that will be expanded for the benefit of the mineral owners. Below is a breakdown of the various land uses.

Land Use	Acreage
Non-Residential	+17.4 Acres
Residential	+264.9 Acres
Parks/ Recreation/ Open Space	+72.0 Acres
Rec. Center and Parks	+8.1 Acres
Drill Sites	+8.1 Acres
Pipeline Easements	+8.0 Acres
Drainage/ Detention	+39.0 Acres
Landscape/Open Space	+8.8 Acres
Constraints	+34.3 Acres
Major Thoroughfares	+29.0 Acres
Collector Streets	+5.0 Acres
Water Well	+0.3 Acres
Total	+388.6 Acres

The land uses listed above are shown on Exhibit G – the Conceptual Development Plan, which illustrates the general size and location of various uses. Significant changes in land use shall be approved by the City of Katy Planning and Zoning Commission, as well as, the City of Katy City Council. Following are the changes to the Conceptual Development Plan that are allowed within the Young Ranch PDD without an amendment to this PDD.

- Residential street pattern and lot sizes may be revised within the various residential cells so long as the lot sizes allowed in the PDD are adhered to and the total number of lots does not exceed the maximum allowed by this PDD. The minimum and maximum percentages of the various lots sizes are defined in the Single Family Lot Standards on page 9 of this document.
- Insignificant changes in acreage due to minor shifts in internal boundaries or more precise survey information are allowed so long as the minimum lot size requirements are adhered to.
- The individual residential cells within Young Ranch may be developed as a gated community, so long as all the City of Katy requirements relative to gated communities are met.

Commercial Uses

Permitted Commercial Uses

12.1-2 Office complexes

12.1-3 Commercial or service centers

12.1-4 Shopping centers

12.1-5 Hotels

12.1-6 Medical center or hospital

12.1-7 Recreation center/recreational fields

Retail/gasoline station/convenience store

Pharmacy

Restaurants (includes restaurants that serve alcoholic beverages, restaurants that do not sell alcoholic beverages, and drive-thru restaurants)

Schools

Day Care

Water Plant Sites

Agriculture Use (other than fowl, equine and seine for no more than three years from the date of the approval of the PDD)

Temporary HUD Code Manufactured Home*

Sales and Construction Trailers**

*The temporary HUD Code Manufactured Home use is limited to the housing of individuals required for the confirmation of the MUD

**Sales and Construction Trailers may be used throughout the PDD during the construction and development process. They must be removed upon completion of construction and sale of the final lots.

Prohibited Uses

Sexually Oriented Businesses

Bottling Works

Chemical laboratories not producing noxious fumes or odors beyond the walls or roofing in which the laboratory is located

Farm machinery sales and services

Lumber yards

Milk bottling or distribution plants

Moving, transfer or storage plants (excludes mini-storage units)

Produce markets (wholesale)

Sign painting plants

Bus barn or lots

Canning or preserving factories

Cold storage plants

Creameries

Electroplating works

Flour mills, feed mills, and grain processing

Metal forging and stamping

Freight terminals (rail or track)

Galvanizing works

Grain elevators

Ice plants

Monument or marble works, finishing and carving only, excluding stone cutting

Poultry killing or dressing for commercial purposes

Sales rooms, yards and service for farm machinery, contractor's equipment and oil well supplies

Storage in bulk of, or warehouse for, such material as: asphalt, brick, building material, cement, coal, contractor's equipment, cotton, feed, fertilizer, grain, gravel, grease, hay, ice, lead, lime,

machinery, metals, oil, plaster, poultry, roofing, rope, sand, stone, tar, tarred or creosoted products, terra cotta, timber, or wood.

Development Schedule

The Young Ranch Subdivision is anticipated to be developed in four (4) phases over a ten (10) year period. This will provide a consistent supply of lots to the anticipated builders. The first residential section will be located along Kingsland. Phasing and timing will be driven by market and economic conditions.

Development Guidelines

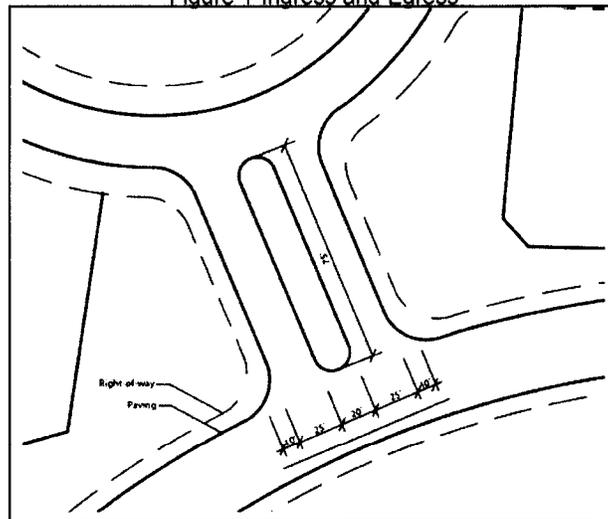
All City of Katy Subdivision regulations in place at the time this document is adopted shall apply to this PDD unless a variance is specifically granted by the City of Katy Planning and Zoning Commission, or a different regulation is set forth herein.

Roadways

1. Ingress and Egress

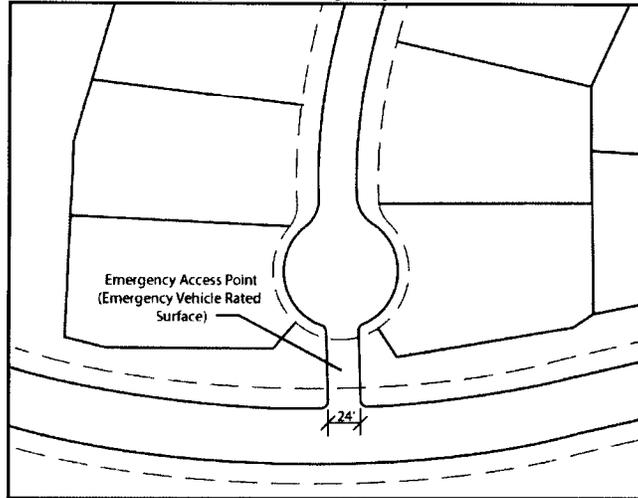
- a. All single family cells with more than one hundred and fifty (150) lots shall have two (2) public ingress and egress rights-of-way or one (1) divided public ingress and egress right-of-way with twenty five (25) foot travel lanes in each direction with the distance measured from back of curb to back of curb. Future connections to adjoining developments and proposed major thoroughfares shall be considered as a second point of access.
- b. The median of any divided entry shall have a minimum width of ten (10) feet and a minimum length of seventy five (75) feet.

Figure 1-Ingress and Egress



- c. Any single family cells that utilizes the divided entry shall provide an emergency access as detailed below. The emergency access shall be 24-feet wide and have a traffic load rating of H-20 as specified by the American Association of State Highway and Transportation Officials (AASHTO). The City of Katy Fire Department shall be provided with 24 hour access across the emergency access.

Figure 2-Emergency Access



2. Major Thoroughfares

- a. Major thoroughfares, with the exception of *Katy-Fulshear Parkway, shall have a right-of-way width of one hundred (100) feet.
- b. *Katy-Fulshear Parkway has a proposed right of way width of two hundred (200) feet, based on the current plans. The ultimate right-of-way may fluctuate depending on the final design of the thoroughfare.
- c. On a major thoroughfare, all curves shall have a minimum centerline radius of one thousand five hundred (1500) feet and all reverse curves shall be separated by a minimum tangent of one hundred (100) feet.
- d. Major thoroughfares shall have two 25 foot paving sections. The pavement will be measured from back of curb to back of curb.

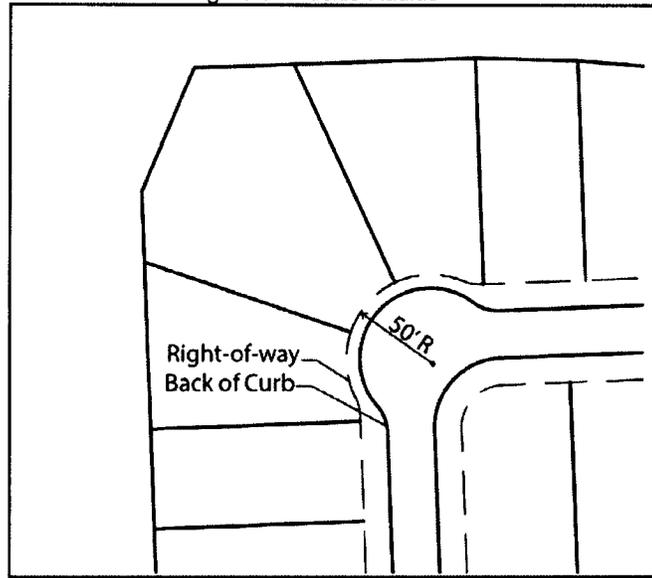
3. Collector Streets

- a. Collector streets shall have a right-of-way width of sixty (60) feet.
- b. The minimum centerline radius for a collector street is three hundred (300) feet. Reverse curves in collector streets shall be separated by a minimum tangent of seventy five (75) feet.
- c. Collector streets shall have a pavement width of thirty eight (38) feet measured from the back of curb to back of curb.

4. Residential Streets

- a. Residential Streets shall have a minimum right-of-way width of fifty (50) feet with a thirty (30) foot paving section or a sixty (60) right of way with a twenty eight (28) foot paving section.
- b. The minimum centerline radius for a residential street is one hundred (100) feet. Reverse curves in collector streets shall be separated by a minimum tangent of fifty (50) feet.
- c. If a residential street has a knuckle, a minimum radius of fifty (50) feet is allowed.

Figure 3-Knuckle Radius



Street Classification	Right-of-Way Width	Centerline Curve Radius Minimum	Tangent Length Minimum	Pavement Width
Major Thoroughfare	100'	1500'	100'	2-25'
*Katy-Fulshear Parkway	***200'	1500'	100'	2-25'
Collector Street	60'	300'	75'	38'
Residential Street (Option A)	60'	**100'	50'	28'
Residential Street (Option B)	50'	**100'	50'	30'

**50' radius allowed on Knuckle

***The right-of-way for Katy-Fulshear Pkwy is proposed based on the current plans. The ultimate right-of-way may fluctuate depending on the final design of the thoroughfare.

5. Block Length

Block length shall not exceed the following:

a. Major Thoroughfare

Block Length must not exceed two thousand six hundred (2,600) feet.

b. Collector Streets

Block length must not exceed two thousand (2,000) feet.

c. Residential Streets

Block length along residential streets shall not exceed one thousand four hundred (1,400) feet.

6. Block Length Exceptions

The below exceptions apply to the block length established herein for collector and residential streets:

a. The crossing of a single pipeline or a drainage easement shall not be required more than every once every two thousand, (2,000) feet.

b. The crossing of multiple existing pipelines shall not be required more than once every one-half (1/2) mile.

7. Cul-de-sac Street Length

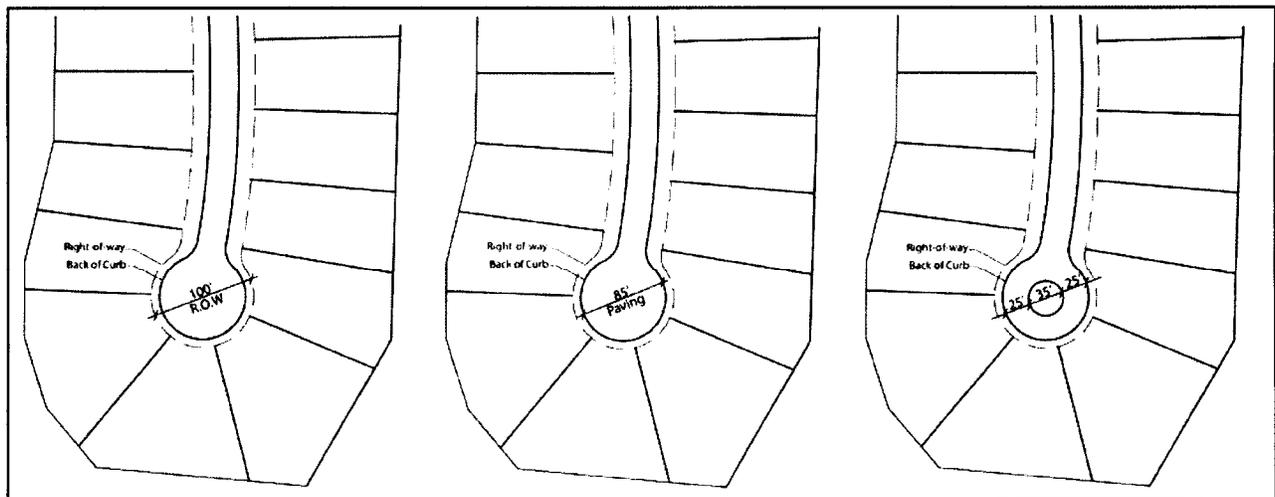
a. Cul-de-sac streets may include up to thirty five lots; however, a cul-de-sac street shall not exceed one thousand (1,000) feet in length measured along the centerline from the center point of the cul-de-sac to the nearest intersection.

8. Cul-de-sac Turnaround

a. Cul-de-sac streets shall have a paving area of no less than eighty five (85) feet in diameter measured from back of curb to back of curb. The diameter measured at the right-of-way must be one hundred (100) feet.

b. If a cul-de-sac has an island, the paving width must be twenty five (25) feet measured from back of curb to back of curb and the island must have a diameter of thirty five (35) feet.

Figure 4 -Cul-de-sac Turnaround



9. Sidewalks

- a. Sidewalks along all public and private streets within shall be installed as follows:
 - i. Sidewalks a minimum of four (4) feet in width shall be provided on both sides of the street.
 - ii. One sidewalk the minimum width required by the American Disabilities Act shall be provided along the perimeter of the Planned Development District that abuts an existing right-of-way and is within one-half mile from the property line and any elementary school or within one mile from the property line of any junior high or high school.
 - iii. Internal/Neighborhood Sidewalks must be installed as adjoining property is permitted.
- b. Sidewalks adjacent to open space areas may meander between the right-of-way and open space when desired.
- c. Public sidewalks that are located in the reserves and/or landscaping areas will be installed by the developer.

10. Alleys

- a. Where provided, alleys shall have a minimum twenty (20) foot right-of-way and a minimum twenty (20) foot paving width. The surface must be in accordance with the City of Katy standards of construction as contained in Article 9.500 of the Katy Code of Ordinances.
- b. Where two (2) alleys intersect or turn at a right angle, a return radius of ten (10) feet from the normal intersection of the property or easement line shall be provided along each property or easement line.

11. Curb Design

- a. A six (6) inch stand-up curb shall be provided for all major thoroughfares and collector streets.
- b. Residential streets may be constructed with either a six (6) inch stand up curb or a four by 12 (4x12) inch rollover curb shall be provided for all residential streets.

Single Family Lot Standards

1. Lot width Cap
 - a. Lots having a minimum width of fifty five (55) feet shall not exceed thirty five percent (35%) of the total lots in the community.
 - b. Lots having a minimum width of less than seventy (70) feet shall not exceed sixty percent (60%) of the total lots in the community.
 - c. Lots having a minimum width of seventy (70) feet or greater shall comprise at least forty percent (40%) of the total lots in the community.

2. Minimum Lot Dimensions
 - a. All residential lots shall have a minimum width of fifty five (55) feet, measured at the building line.
 - b. Residential lots shall have minimum depth of one hundred twenty (120) feet except on cul de sacs where the depth may be less so long as the lot meets the minimum area requirement.
 - c. Residential lots shall have minimum area of six thousand six hundred (6,600) square feet per lot.
 - d. Flag lots are prohibited.

3. Building Setbacks
 - a. Front Yard Setbacks
 - i. Major Thoroughfares - Lots shall not front on major thoroughfares
 - ii. Collector Streets - Lots that front on collector streets shall have a minimum front yard setback of twenty five (25) feet.
 - iii. Residential Streets - Lots that front on residential streets shall have a minimum front yard setback of twenty five (25) feet.
 - iv. Cul de Sac - Lots that front on a cul de sac shall have a minimum front yard setback of twenty (20) feet.

 - b. Side Yard Setbacks (Interior) within Lamar Consolidated ISD
 - i. Major Thoroughfares - Lots shall not front on Major Thoroughfares.
 - ii. Collector streets - Lots that front on collector streets shall have a minimum side yard setback of five (5) feet.
 - iii. Residential Streets – Lots that front on residential streets shall have a minimum side yard setback of five (5) feet.

 - c. Side Yard Setbacks (Interior) within Katy ISD
 - i. Major Thoroughfares - Lots shall not front on Major Thoroughfares.
 - ii. Collector streets - Lots that front on collector streets shall have a minimum side yard setback of seven and a half (7.5) feet.
 - iii. Residential Streets – Lots that front on residential streets shall have a minimum side yard setback of seven and a half (7.5) feet.

 - d. Corner Lots
 - i. Major Thoroughfares – Lots adjacent to major thoroughfares shall have a minimum side setback of twenty (20) feet where the lot abuts the major thoroughfare. Lots adjacent to major thoroughfares shall have at least a fifteen foot greater width than the adjacent lot.

ii. Lots within Lamar Consolidated ISD

1. Collector Streets – Lots adjacent to collector streets shall have a minimum side setback of ten (10) feet where the lot abuts the collector street. Lots adjacent to collector streets shall have at least a five (5) foot greater width than the adjacent lot.
2. Residential Street - Lots adjacent to residential streets shall have a minimum side setback of ten (10) feet where the lot abuts the residential street. Lots adjacent to residential streets shall have at least a five (5) foot greater width than the adjacent lot.

iii. Lots within Katy ISD

1. Collector Streets – Lots adjacent to collector streets shall have a minimum side setback of fifteen (15) feet where the lot abuts the collector street. Lots adjacent to collector streets shall have at least a seven and one half (7.5) foot greater width than the adjacent lot.
2. Residential Street - Lots adjacent to residential streets shall have a minimum side setback of fifteen (15) feet where the lot abuts the residential street. Lots adjacent to residential streets shall have at least a seven and one half (7.5) foot greater width than the adjacent lot.

Street Classification	Front Building Line	Interior-Side Building Line (Lamar Cons. ISD)	Interior-Side Building Line (Katy ISD)	Corner Building Line (Lamar Cons. ISD)	Corner Building Line (Katy ISD)
Major Thoroughfare	Prohibited	Prohibited	Prohibited	20'	20'
Collector Street	25'	5'	7.5'	10'	15'
Residential Street	25'	5'	7.5'	10'	15'

4. Building Height

Buildings shall not exceed thirty five (35) feet in height and shall not exceed two and one-half (2 ½) stories.

5. Floor Area

Each dwelling unit shall have a minimum floor area of not less than one thousand two hundred (1,200) square feet excluding basements, porches and garage areas.

6. Parking

A minimum of two (2) off-street parking spaces are required for every single family dwelling.

Residential Architectural Standards

1. Architectural variety along Street

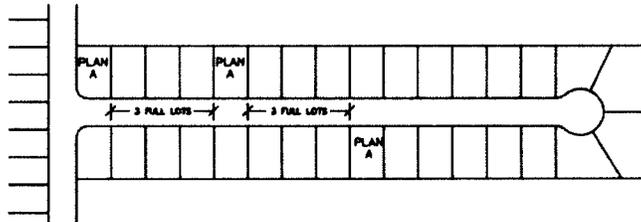
- a. Builders will endeavor to create architectural diversity and variety when constructing homes and will strive to enhance the streetscape of the neighborhood. When possible, buildings will have combinations of one and two story elements and will incorporate various architectural articulation. Privacy from other houses and adjacent properties will be considered in home design and orientation.
- b. Side and rear elevations of the homes exposed to view from the parks and open space shall be composed of masonry and match the architectural style of the front elevation. In the case of a two (2) story home, siding or similar non-masonry materials that match the architectural style of the front elevation may be used on the second level.

2. Housing Plan and Elevation Repetition

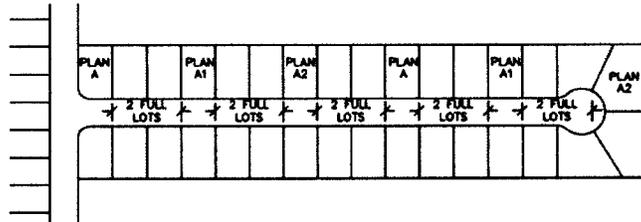
- a. When building the same plan, same elevation on the same or opposite side of the street, three (3) full lots must be skipped.
- b. When building the same plan, different elevation, on the same side of the street, two (2) lots must be skipped
- c. When building the same plan, different elevation, on opposite sides of the street, two (2) full lots must be skipped.

Figure 6 –Lot Repetition

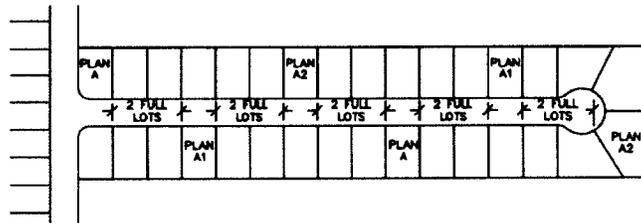
A. SAME PLAN, SAME ELEVATION, SAME OR OPPOSITE SIDE



B. SAME PLAN, DIFFERENT ELEVATION, SAME SIDE



C. SAME PLAN, DIFFERENT ELEVATION, OPPOSITE SIDE



3. Exterior Materials/Masonry requirement

- a. At least 60% of the front façade shall be composed of masonry and 50% of the overall exterior of each home shall be masonry. Masonry shall mean brick, stone, stucco, brick veneer and cultured stone.
- b. No more than four (4) primary materials shall be used on the exterior. This excludes roof shingles. The following materials may be used:
 - Brick
 - Stone Stucco
 - Cultured Stone
 - Stone
 - Fiber Cement Siding (earth tone colors and horizontal application only)
 - Natural Woods (property stained or preserved and rot resistant)

4. Driveways

- a. Driveways must be located within the front yard of the lot, between each side yard. They shall be a minimum of sixteen (16) feet wide at the curb and may widen within the lot near the garage. When a lot is located with road frontages on two (2) sides the builder will attempt to place the driveway cut on the lesser-traveled road.

5. Foundations

- a. Foundations that extend above grade more than twelve (12) inches shall be covered with the same material used in the façade of the home or the base of the home shall be clad in stone to a height of three (3) feet to provide a substantial and solid base.

6. Garages

- a. Front loaded garage doors shall be offset from the front façade of the home a minimum of twelve (12) inches. Garages shall be limited to three (3) cars in width. Swing-in or side entry garage arrangements are encouraged to create visual interest and variety of the street scene.
- b. In instances where a three (3) car garage is used, there must be one (1) double door and one (1) single door. The used of three (3) single doors is prohibited.
- c. Garage facades that face the street when a side-entry garage is used must incorporate design elements, including windows, to blend the garage into the house design. The use of metal sectional doors is recommended due to the climate.

7. Porches

- a. Covered porches shall be enclosed by arcades or colonnades and be roofed with the same materials as the remainder of the home.

8. Balconies

- a. The use of balconies is encouraged. They shall be incorporated into the building form to articulate and provide visual interest to large wall masses. The railings shall be consistent with the character and detail of the rest of the structure.

9. Chimneys

- a. Chimneys shall be simple in design and proportion and use materials that are consistent with the surrounding wall or appropriate accent materials (ex: stone, brick or siding). Chimney caps should repeat the fascia cornice treatments and integrate the trim colors. Exposed flues are prohibited.

10. Roofs

- a. Roofs shall use simple pitched forms with a minimum slope of 4:12. A flat roof shall be prohibited unless such a roof is a secondary roof form on the structure. For all roofs, both vertical and horizontal articulation is encouraged. Roof articulation may be achieved by changes in plane through the use of traditional roof forms such as gables, hips and dormers.
- b. Concrete, clay tile, metal or asphalt type roofing materials may be used on sloped roofs. Several styles and colors of roofing materials should be offered and should be interspersed throughout a development. Any area of a roof that uses a flat-roof design shall incorporate a parapet wall or cornice element on all sides of the area. Wood shingle and wood shake shingle roof surfaces are not allowed.
- c. Overhanging eaves or a projection cornice shall be incorporated into the design of dwellings as a means of reducing heat buildup from the sun and adding protection to the sidewalls of the dwellings.
- d. Solar panels may be installed but must be of a non-reflective material and colored to match the colors chosen for the home. Mechanical equipment and meters shall be screened from view. No equipment shall be allowed on the roof with the exception of solar panels and satellite dishes.
- e. Skylights are permitted provided they are suitably integrated into roof designs and are flush-mounted.

11. Gutters and Downspouts

- a. Exposed gutters shall be colored to match or complement the building surface to which they are attached.

12. Lighting

- a. Exterior building lighting is allowed although excessive fugitive light should be avoided
- b. Pole mounted light fixtures are prohibited in front yards but are allowed in rear yards. The lights shall be installed no higher than the lowest elevation of the lot privacy wall.
- c. Up lighting of buildings and structures is allowed. Lighting sources from up lighting utilized in the front of the home shall not be visible from the street. Colored and neon lighting is prohibited.

Non-Residential Standards

1. Commercial sites must be coordinated as to function as a single entity. All drives, service areas, landscaping, parking area, signage must function together as a single entity. Manufacturing, such as light industries, including without limitation, manufacturing, warehousing and distribution operations, are not permitted.
2. Building setbacks for non-residential uses shall be as follows:

Street Classification	Front Building Line	Corner Building Line
Major Thoroughfare	25'	15'
Collector Street	25'	15'
Residential Street	25'	15'

3. Building Height - No Maximum
4. Parking
Parking will be determined by use and will meet the standards as listed in the City of Katy Zoning Ordinance.
5. Commercial lots may retain an Agricultural Exemption for tax purposes until commercial development occurs or for three (3) years after the date the Planned Development District is approved, whichever occurs first, at which time the tax status of the property shall revert to commercial.

Utilities

1. Private Utility Easements
 - a. Private utility easements shall be provided at the rear of all lots for the use of private utility lines, conduits and equipment. These utility easements shall be fourteen (14) feet in width, taking seven (7) feet from each lot where the rear of two (2) lots abut each other, and shall be continuous for the entire length of the block.
 - b. Public utilities shall be located within the right-of-way or within a dedicated utility easement provided adjacent to side lots and corner lots when necessary for the use of public utility lines conduits and equipment.
2. Sanitary Sewer Manholes
 - a. Sanitary Sewer manholes spacing shall comply with TCEQ requirements and be located at changes in direction or sizes of the primary line.
3. Oil and Gas
 - a. The City of Katy Code of Ordinances for Oil and Gas will be met.

Landscaping

Plant species for all landscaped areas should be selected for tolerance to exhaust fumes and pavement heat. Trees that drop sap are to be avoided, as are trees that drop large amounts of blossoms, seeds or pods that may clog drains. Additionally, trees that are susceptible to insects and disease as well as trees with expansive root systems that could disrupt paving and underground utilities should be avoided.

Screening

All service and utility areas shall be screened from public view by architectural screens, fences and landscaping. Trash cans and dumpster locations shall be permanently fenced or screened with enclosures rendering these functions hidden from public view. These enclosures shall be reinforced masonry, with solid metal gates and must be a minimum of six (6) feet in height.

Commercial Uses must be screened by a solid fence, a minimum of six (6) feet in height, when adjacent to any non-commercial use. On sides adjacent to a major thoroughfare, no screening fence is required, but a landscape buffer is required.

Signs

All signs, both temporary and permanent, on Building Sites which are visible from a public right-of-way within the PDD shall conform to overall sign guidelines established by the City of Katy. Temporary signs used during construction of the development recognizing architects, engineers, leasing representative, lenders, etc., must all be tastefully displayed on one (1) 4' x 8' vertical sign. All temporary signs must be removed when the principle buildings on the applicable Building Site is substantially occupied. Additional, temporary Builder Signs (maximum 4' x 8') directing potential home buyers to various neighborhoods/model homes may be installed. These temporary signs will remain as long as homebuilders are constructing in the neighborhood.

Recreation Area Amenities and Open Space

No less than twenty (20) percent of the development must be used for open space. Open Space shall include parks, landscape reserves, landscaped right-of-ways, pipeline easements, trails, linear trails, tot lots, natural open space areas, drill sites and publically accessible detention/ drainage facilities. The six (6) acre Willow Fork of Buffalo Bayou/Drainage area northwest of the Planned Development District and adjacent to the Water Plant Site is included in the twenty (20) percent open space calculation. Open space maintained by a public entity and/or private recreation centers shall satisfy the City of Katy Parks dedication requirement.

There are several amenity sites within the master plan, including a recreation center, a linear park along Kingsland Boulevard and multiple tot lots. The tot lots will be spread throughout the multiple residential neighborhoods while the recreation center will be centrally located within the community. Landscape reserves and easements will run along *Katy-Fulshear Parkway and West Firethorne Road, allowing space for vegetation and sidewalks. All major intersections and entrances, including the roundabout at *Katy-Fulshear Parkway and Kingsland Boulevard, will be landscaped. With the number of pipeline corridors within the project and the linear park along Kingsland Boulevard, there is further opportunity for walking trails and pedestrian connectivity. Varying sizes of open space and landscape buffers will also be present within each residential neighborhood.

Proposed Utilities

A proposed City of Katy Water Plant, located just outside the PDD boundary, on the northwest corner of the development, will serve the subdivision with water supply. The initial phases of the project will be served by a 12-inch water line extended from interstate 10 to the project limits through the Hoover Tract. A lift station on the project site will pump wastewater to the trunk sanitary sewer located along Interstate 10. Internal water and sanitary sewer lines in accordance with the City of Katy Guidelines will serve the tract.

Stormwater drainage will be collected in underground storm sewers, conveying flow to a series of lakes conveying stormwater north to an outfall to Willow Fork of Buffalo Bayou. The lake system will incorporate stormwater detention above the water level to mitigate increases in flow associated with development. For more intense storms exceeding the capacity of the storm sewer system, the street system will be designed to convey sheet flow to outfall to the amenity lake/detention system. Stormwater quality will be enhanced by the lakes, providing time for sediment in runoff to settle before flow is discharged to Willow Fork.

Applicable Guidelines

Unless otherwise noted or explicitly discussed within this document and the applicable exhibits, all federal, state, and municipal codes in effect when this document was originally adopted are applicable.

V. EXHIBITS

- A – Area Map
- B – Arterial Road Map
- C – Surrounding Land Uses
- D – Boundary Survey
- E – Legal Description
- F – Municipal Utility District Boundary
- G – Conceptual Development Map
- H – Land Use and Zoning Map
- J – Preliminary Amenities Plan

***Katy-Fulshear Parkway**

The name used throughout the document and exhibits is based on the current proposed name for the future north-south major thoroughfare on the western side of the subject property.

LEGEND	
———	County Line
———	City Limits
———	School District



an area map for

YOUNG RANCH

RYLAND HOMES, BEAZER HOMES, & M/I HOMES

± 388.6 ACRES OF LAND

prepared for

**RYLAND HOMES,
BEAZER HOMES,
& M/I HOMES**

BGE | KERRY R. GILBERT & ASSOCIATES

23001 Once Ranch Blvd
Houston, TX 77058
Map, Issue 27,004
FIR (201) 579-0240
FIR (201) 579-0212

AUGUST 28, 2014
MGA #02817

SCALE
1" = 100'

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